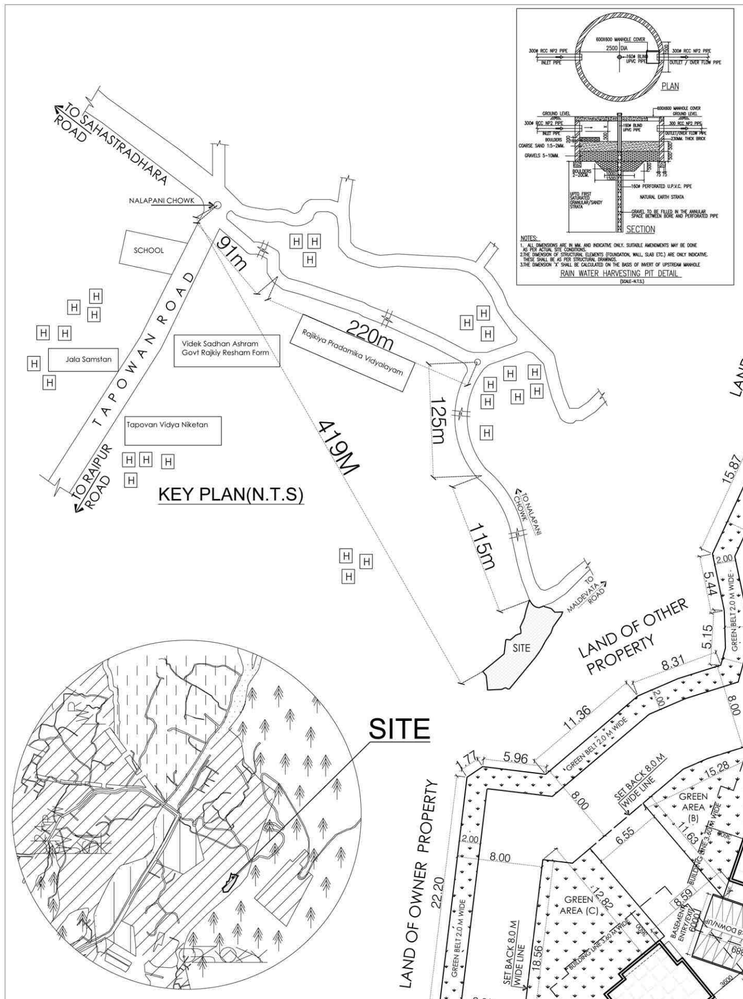
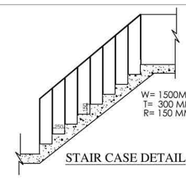
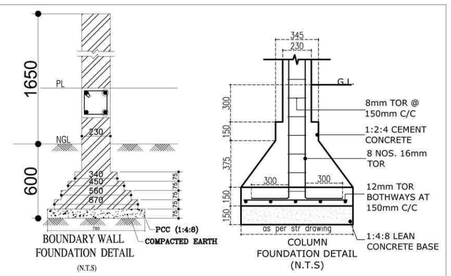


MASTER PLAN
[N.T.S.]





PROVIDED EWS BLOCK FOR "MULTIPLE RESIDENCE UNIT " PALMCITY IN DEHRAKHAS , DEHRADUN. AS/LETTER No:- 976/V-2/105(A) 2013 T.C. - 02/2015 RECEIVED FROM SECRETARY GOVT. OF UTTARAKHAND. MR. D.S.GABRIYAL WITH RESPECT TO MDDA LETTER - 2295/DISPUTE No:- R-0052 /S-1/2012. DATED 30.12.2013.

KHASRA AREA DETAILS:-

KHASRA No:-	AS PER REGISTRY & MUTATION AREA: AREA (HECTARE)	AS PER REGISTRY & MUTATION AREA: AREA (SQM)	TOTAL AREA USED PROJECT FOR PHASE-1: AREA (SQM)
67 Gha	0.0380	380	380
84	0.0300	300	300
85	0.0200	200	200
86	0.0200	200	200
87 Ka	0.1720	1720	1720
88 Kha	0.0890	890	890
89	0.1712	1712	
	0.0568	568	
			2280
67 Ga	0.1340	1340	1340
68-Kha	0.0100	100	
69	0.0140	140	
73	0.0200	200	
74	0.0840	840	
75-Ka	0.1700	1700	
67 Ka (Old Khasra no.63 Min,64 Min, 65 Min, 66 Min, 78 Min, and 80 Min)	0.3360	3360	
38 Ka	0.0172	172	
39	0.0100	100	
TOTAL AREA		13922	7310
REMAINING AREA		6612	

AREA STATEMENT OF 'RIDDHI SIDDHI'

S.NO	DESCRIPTION	AERA (SQM)
A	**AREA STATEMENT OF 'RIDDHI-SIDDHI' GROUP HOUSING ON NALAPANI ROAD AT DEHRADUN.**	
1	PLOT AREA AS/MUTATION & REGISTRY	**7310.00**
2	ROAD WIDENING (2.41+1.60)/2 = 2.0 x 27.95)	55.90
3	NET PLOT AREA	7254.10
4	**TOWER -01**	
a)	PROPOSED BASEMENT-01 FLOOR AREA	1072.21
b)	PROPOSED STILT (GROUND) COVERED AREA	968.76
c)	(STAIR 1 + STAIR 2 + LIFT 1+LIFT 2)	45.75
d)	**NET STILT (GROUND) COVERED AREA**	1014.51
e)	PROPOSED FIRST FLOOR COVERED AREA	686.32
e)	PROPOSED TYPICAL (2nd TO 8th) FLOOR COVERED AREA (868.62 x7)	6080.34
	TOTAL TOWER -01 COVERED AREA (686.32 + 6080.34)	**6766.66**
5	**PROPOSED COMMUNITY CENTER (FIRST FLOOR) COVERED AREA ON TOWER-01**	**182.30**
6	**TOWER -02**	
a)	PROPOSED BASEMENT-01 FLOOR AREA	991.83
b)	PROPOSED STILT (GROUND) COVERED AREA	904.96
c)	(STAIR 1 + STAIR 2 + LIFT 1+LIFT 2+LIFT 3+LIFT 4)	46.74
d)	**NET STILT (GROUND) COVERED AREA**	951.70
e)	PROPOSED TYPICAL (1st TO 8th) FLOOR COVERED AREA (833.80 x 8)	6670.40
	TOTAL TOWER -02 FLOOR COVERED AREA	**6670.40**
7	**E.W.S BLOCK**	
a)	PROPOSED E.W.S GROUND FLOOR COVERED AREA	82.57
b)	STAIR CASE COVERED AREA	9.09
c)	**NET E.W.S GROUND FLOOR COVERED AREA**	**91.66**
d)	PROPOSED E.W.S TYPICAL (1st TO 2nd) FLOOR COVERED AREA(82.57 x 2)	165.14
	E.W.S NET FLOOR COVERED AREA	**247.71**
8	**PROPOSED ALL FLOOR FAR COVERED AREA (T1+T2+E.W.S) = (6766.66 + 182.30 + 6670.40 + 247.71)**	**13867.06**
9	**PROPOSED ALL FLOOR COVERED AREA FOR DC**	**17906.41**
10	**PROPOSED GROUND COVERAGE (PERMISSIBLE- 35%)**	
	(968.76+45.75) (T1) + (904.96+46.74) (T2) + (91.66) E.W.S = 2057.87/7254.10	28.37%
11	**PROPOSED PERMISSIBLE FAR (2.1 %) = (7254.10 x 2.10 = 15233.61 SQM)**	**15233.61**
	PROPOSED FAR COVERED AREA (T1+T2) + EWS = (6766.62 + 182.30 + 6670.40 + 247.71) = 13867.06/7254.10	**1.91**
12	**REQUIRED** OPEN GREEN AREA @10 % OF NET PLOT AREA	**725.41**
a)	**PROPOSED** GREEN AREA	**1588.23**
B	**REQUIRED PARKING**	
a)	24 UNITS FOR 3 BHK (TYPE A) EACH WITH AREA 113.21 SQM	**24**
b)	62 UNITS FOR 2 BHK (TYPE A) EACH WITH AREA 86.77 SQM	62
c)	72 UNIT FOR 1 BHK (TYPE A) WITH AREA 43.52 SQM	**72**
d)	9 UNIT FOR E.W.S WITH AREA 26.33 SQM	**9**
	TOTAL NO'S OF UNITS	**167**
a)	PARKING REQUIRED FOR 3 BHK (TYPE A) 113.21 SQM FLAT(@1.25 ECS) X 24	30.00
b)	PARKING REQUIRED FOR 2 BHK (TYPE A) 86.77 SQM FLAT(@1.25 ECS) X 62	77.50
c)	PARKING REQUIRED FOR 1 BHK (TYPE A) 43.52 SQM FLAT(@1.00 ECS) X 72	72.00
d)	PARKING REQUIRED FOR E.W.S (@1.00 ECS)X 9/4 = 2.25 ECS SAYS	3.00
e)	**PARKING REQUIRED COMMUNITY CENTER/CLUB AREA @2.00 ECS /100 SQM COVERED AREA 182.30 SQM = 182.30 x 2/100 = 4 ECS**	**4**
	TOTAL ECS REQUIRED	**186.15**
C	**PROVIDED PARKING**	
a)	BASEMENT -(T1+T2)=(1072.21 + 991.83)/32	**64.50**
b)	STILT FLOOR (GROUND) -(T1+T2)=(968.76 + 904.96)/28	**66.92**
c)	**OPEN PARKING**	
i)	**OPEN PARKING (TO BE MINIMUM 25% X 187)** PROVIDED OPEN PARKING IN SET BACK AREA = 3117.92/2 = 1558.96 SQM (SINCE 2751.47 > 1578.28 SQM i.e. 50% AREA OF SET BACK PARKING) =1558.96/23 = 67.78 ECS (i.e. 50% OF SETBACK PARKING) says PROVIDED PARKING 67 ECS	**67.00**
ii)	SINCE PROVIDED SET BACK PARKING 67.78 ECS >REQUIRED TOTAL PROVIDED A MINIMUM 25% OF GROUND FLOOR OPEN PARKING =187 X 25/100 = 46.75 ECS	
	TOTAL PROVIDED (BASEMENT + STILT + 50% OF SETBACK) PARKING	**198.42**
D	**RAIN WATER HARVESTING TANK**	
a	GROUND FLOOR COVERAGE AREA	2057.87
b	2057.87 - 400 = (1657.87/50*0.50) = 16.58 15.66 + 3.50 = 20.08 CUM	20.08
E	**PROVIDING RECHARGE PIT, THEREFORE**	
a)	1/3 OF 20.08 CUM = 6.69 CUM = (3.0 X 1.50 X 1.50)	6.75
F	**DENSITY CALCULATIONS :-**	
a)	PERMISSIBLE NUMBER OF UNIT :- 7254.10 x 300 / HECTARE	217.62
b	**PROVIDED TOTAL NUMBER OF UNITS**	**167**
G	**EWS & LIG CALCULATIONS :-**	
a)	No's OF GENERAL UNITS = 167 @20 % OF (EWS & LIG) = 167 x 20/100 = 33.40 Says 34 Units	**34**

FOR OFFICE USE ONLY:

HARICHAND SINGH RANA
The Map (R-0239/16-17) is approved by Mr. R. Meenakshi Sundaram, IAS (Vice Chairman) MDDA and recommended for approval by Mr. Prakash Chandra Dumka(PCS) (Secretary) MDDA, Mr. Anil Kumar Tyagi (Superintendent Engr.) and Mr. P.N. Bahuguna (Junior Engr.) MDDA and is digitally signed by Mr. Harichand Singh Rana Dated: 06/01/2021 12:44 PM

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

PROVIDED EWS BLOCK FOR "MULTIPLE RESIDENCE UNIT " PALMCITY IN DEHRAKHAS , DEHRADUN. AS/LETTER No:- 976/V-2/105(A) 2013 T.C. - 02/2015RECEIVED FROM SECRETARY GOVT.OF UTTARAKHAND. MR. D.S.GABRIYAL WITH RESPECT TO MDDA LETTER - 2295/DISPUTE No:- R-0052 /S-1/2012. DATED 30.12.2013.

AREA STATEMENT OF BUILDING :-

CERTIFIED THAT:-

1. THE BUILDING PLANS SUBMITTED FOR APPROVAL SATISFY THE SAFETY REQUIREMENT AS STIPULATED IN ANNEXTURE-II AND THE BEST OF OUR KNOWLEDGE AND UNDER STANDING.
2. THE STRUCTURE DESIGN INCLUDING SAFETY FROM NATURAL HAZARDS BASED ON SOIL CONDITIONS HAS BEEN PREPARED BY DULY QUALIFIED STRUCTURAL ENGG. AT LEAST B.E (CIVIL) OR EQUIVALENT AND THESE PROVISIONS SHALL BE ADHERED TO DURING THE CONSTRUCTION.

SIGNATURE OF ARCHITECT

GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: SITE PLAN

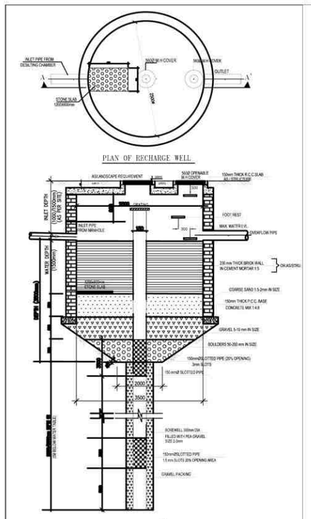
SCALE: 1:100

JOB NO

DRG. NO: 01

GAURAV SINGH ARCHITECTS
ARCHITECTURE, INTERIORS, LANDSCAPE, PLANNING

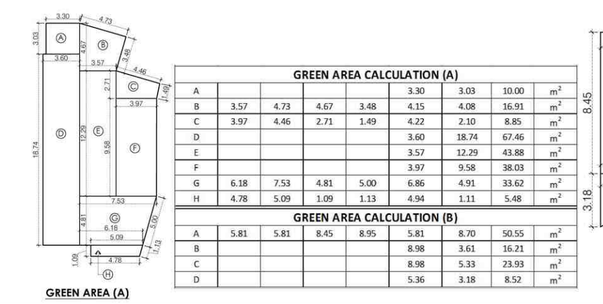
FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765



LEGEND	
SYMBOL	DESCRIPTION
	EXTERNAL SEWER LINE S.W.PIPE
	EXTERNAL STROM LINE RCC PIPE
	DOMESTIC WATER SUPPLY LINE
T.W.	TUBE WELL LINE
	MANHOLE–ø900mm SEWERAGE
	MANHOLE–ø900mm STROM WATER

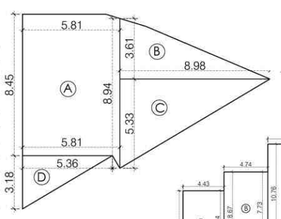
PROVIDED EWS BLOCK FOR "MULTIPLE RESIDENCE UNIT " PALMCITY IN DEHRAKHAS , DEHRADUN. AS/LETTER No:- 976/V-2/105(A) 2013 T.C. - 02/2015 RECEIVED FROM SECRETARY GOVT. OF UTTARAKHAND. MR. D.S.GABRIYAL WITH RESPECT TO MDDA LETTER - 2295/DISPUTE No:- R-0052 /S-1/2012. DATED 30.12.2013.

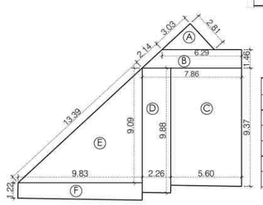
SITE WITH GREEN AREA CALCULATION



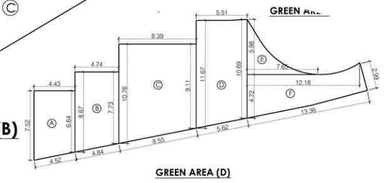
GREEN AREA CALCULATION (A)								
A					3.30	3.03	10.00	m^2
B	3.57	4.73	4.67	3.48	4.15	4.08	16.91	m^2
C	3.97	4.46	2.71	1.49	4.22	2.10	8.85	m^2
D					3.60	18.74	67.46	m^2
E					3.57	12.29	43.88	m^2
F					3.97	9.58	38.03	m^2
G	6.18	7.53	4.81	5.00	6.86	4.91	33.62	m^2
H	4.78	5.09	1.09	1.13	4.94	1.11	5.48	m^2

GREEN AREA CALCULATION (B)								
A	5.81	5.81	8.45	8.95	5.81	8.70	50.55	m^2
B					8.98	3.61	16.21	m^2
C					8.98	5.33	23.93	m^2
D					5.36	3.18	8.52	m^2





GREEN AREA CALCULATION (C)								
A					3.03	2.81	4.26	m^2
B	7.86	6.29	2.14	1.46	7.08	1.80	12.74	m^2
C					5.60	9.37	52.47	m^2
D					2.26	9.88	22.33	m^2
E					9.83	9.09	44.68	m^2
F					9.83	1.22	11.99	m^2



GREEN AREA CALCULATION (D)								
A	4.52	4.43	7.52	6.64	4.48	7.08	31.68	m^2
B	4.84	4.74	8.67	7.73	4.79	8.20	39.28	m^2
C	8.55	8.39	10.76	9.11	8.47	9.94	84.15	m^2
D	5.62	5.51	11.67	10.69	5.57	11.18	62.22	m^2
E					7.65	5.98	22.87	m^2
F	13.36	12.18	4.72	2.99	12.77	3.86	49.23	m^2
					GREEN AREA (A+B+C+D)		761.34	m^2
					TOTAL GREEN AREA (826.89+761.34)		1588.23	m^2

GREEN AREA CALCULATION							
S NO	SIDE 1A	SIDE1B	SIDE 2A	SIDE 2B	AVG. SIDE 1	AVG SIDE 2	AREA	UNIT
G	10.75	9.83	2.36	2.00	10.29	2.18	22.43	m^2
G1	8.53	8.15	2.00	2.19	8.34	2.10	17.47	m^2
G2					12.51	2.00	25.02	m^2
G3	2.00	2.18	26.69	25.67	2.09	26.18	54.72	m^2
G4	2.00	2.00	9.63	9.57	2.00	9.60	19.20	m^2
G5	2.00	2.00	15.46	15.43	2.00	15.45	30.89	m^2
G6	2.02	2.00	31.06	30.66	2.01	30.86	62.03	m^2
G7	2.01	2.02	64.79	64.25	2.02	64.52	130.01	m^2
G8	2.82	0.97	2.11	2.01	1.90	2.06	3.90	m^2
G9	3.14	3.06	2.10	2.11	3.10	2.11	6.53	m^2
G10	2.25	3.31	2.04	2.10	2.78	2.07	5.75	m^2
G11	5.41	5.42	2.04	2.04	5.42	2.04	11.05	m^2
G12	22.74	20.36	2.62	2.04	21.55	2.33	50.21	m^2
G13	2.62	2.08	22.88	21.57	2.35	22.23	52.23	m^2
G14	2.08	2.00	8.84	9.46	2.04	9.15	18.67	m^2
G15	2.00	2.15	42.77	41.97	2.08	42.37	87.92	m^2
G16	2.15	2.00	21.36	22.16	2.08	21.76	45.15	m^2
G17	8.18	7.30	2.00	2.18	7.74	2.09	16.18	m^2
G18	2.18	2.00	11.94	11.36	2.09	11.65	24.35	m^2
G19	2.00	2.28	8.90	8.31	2.14	8.61	18.41	m^2
G20	2.28	2.11	10.50	11.82	2.20	11.16	24.50	m^2
G21	2.11	2.01	15.87	15.41	2.06	15.64	32.22	m^2
G22	2.01	3.00	29.60	24.74	2.51	27.17	68.06	m^2
					GREEN AREA		826.89	m^2

FOR OFFICE USE ONLY:

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

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SIGNATURE OF ARCHITECT — GAURAV SINGH, Registered Architect, Reg. No CA/2007/39549

SIGNATURE OF STRUCTURAL ENGINEER

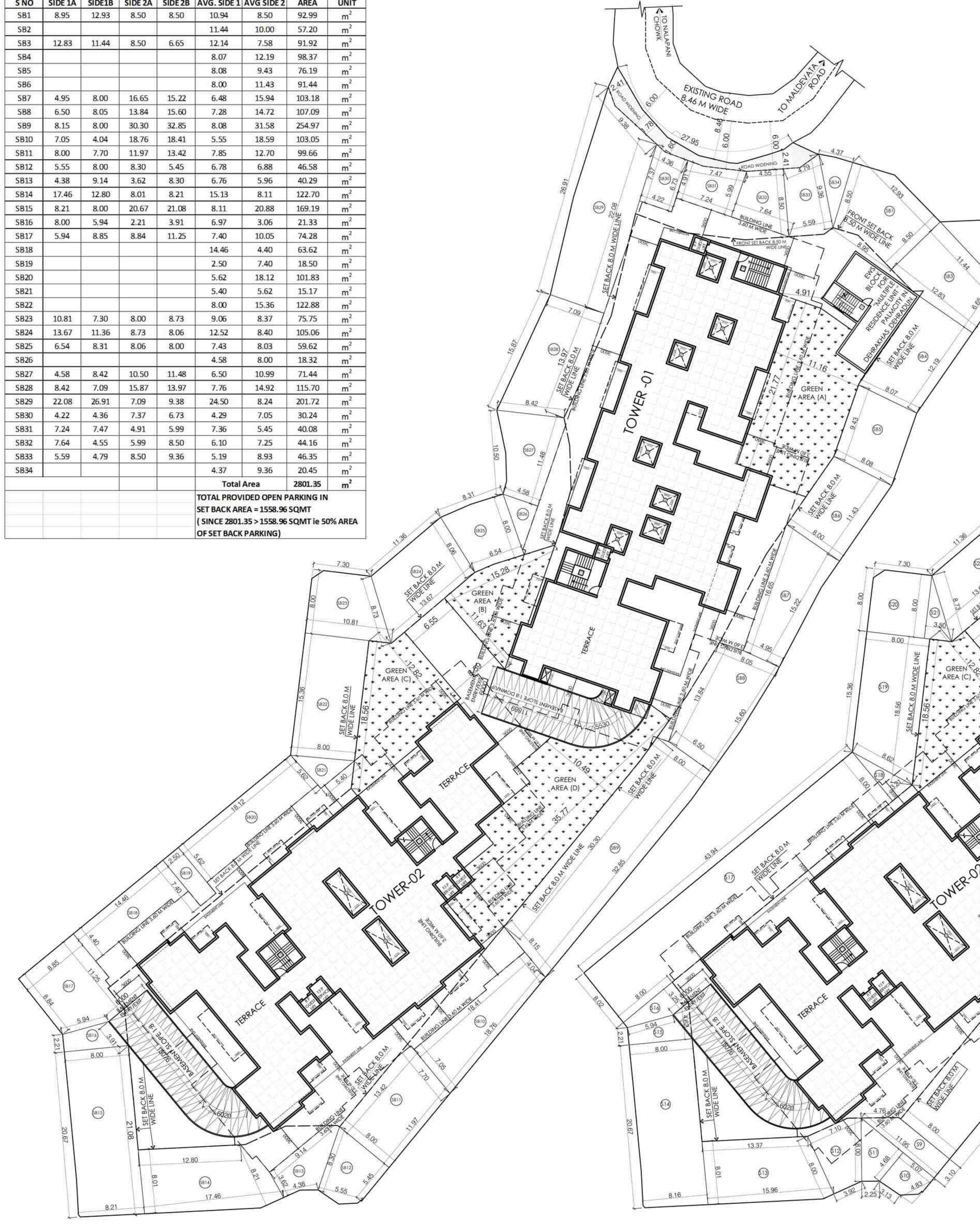
SIGNATURE OF OWNER

SHEET TITLE: SITE WITH SERVICE & GREEN AREA CALCULATION

SCALE 1:100 | JOB NO | DRG. NO 02

GAURAV SINGH ARCHITECTS
ARCHITECTURE INTERIORS LANDSCAPE PLANNING
FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765

SET BACK PARKING AREA CALCULATION AFTER 3.60 M WIDE BUILDING LINE								
S NO	SIDE 1A	SIDE1B	SIDE 2A	SIDE 2B	AVG. SIDE 1	AVG SIDE 2	AREA	UNIT
SB1	8.95	12.93	8.50	8.50	10.94	8.50	92.99	m^2
SB2					11.44	10.00	57.20	m^2
SB3	12.83	11.44	8.50	6.65	12.14	7.58	91.92	m^2
SB4					8.07	12.19	98.37	m^2
SB5					8.08	9.43	76.19	m^2
SB6					8.00	11.43	91.44	m^2
SB7	4.95	8.00	16.65	15.22	6.48	15.94	103.18	m^2
SB8	6.50	8.05	13.84	15.60	7.28	14.72	107.09	m^2
SB9	8.15	8.00	30.30	32.85	8.08	31.58	254.97	m^2
SB10	7.05	4.04	18.76	18.41	5.55	18.59	103.05	m^2
SB11	8.00	7.70	11.97	13.42	7.85	12.70	99.66	m^2
SB12	5.55	8.00	8.30	5.45	6.78	6.88	46.58	m^2
SB13	4.38	9.14	3.62	8.30	6.76	5.96	40.29	m^2
SB14	17.46	12.80	8.01	8.21	15.13	8.11	122.70	m^2
SB15	8.21	8.00	20.67	21.08	8.11	20.88	169.19	m^2
SB16	8.00	5.94	2.21	3.91	6.97	3.06	21.33	m^2
SB17	5.94	8.85	8.84	11.25	7.40	10.05	74.28	m^2
SB18					14.46	4.40	63.62	m^2
SB19					2.50	7.40	18.50	m^2
SB20					5.62	18.12	101.83	m^2
SB21					5.40	5.62	15.17	m^2
SB22					8.00	15.36	122.88	m^2
SB23	10.81	7.30	8.00	8.73	9.06	8.37	75.75	m^2
SB24	13.67	11.36	8.73	8.06	12.52	8.40	105.06	m^2
SB25	6.54	8.31	8.06	8.00	7.43	8.03	59.62	m^2
SB26					4.58	8.00	18.32	m^2
SB27	4.58	8.42	10.50	11.48	6.50	10.99	71.44	m^2
SB28	8.42	7.09	15.87	13.97	7.76	14.92	115.70	m^2
SB29	22.08	26.91	7.09	9.38	24.50	8.24	201.72	m^2
SB30	4.22	4.36	7.37	6.73	4.29	7.05	30.24	m^2
SB31	7.24	7.47	4.91	5.99	7.36	5.45	40.08	m^2
SB32	7.64	4.55	5.99	8.50	6.10	7.25	44.16	m^2
SB33	5.59	4.79	8.50	9.36	5.19	8.93	46.35	m^2
SB34					4.37	9.36	20.45	m^2
					Total Area		2801.35	m^2
					TOTAL PROVIDED OPEN PARKING IN SET BACK AREA = 1558.96 SQMT (SINCE 2801.35 > 1558.96 SQMT ie 50% AREA OF SET BACK PARKING)			



SITE WITH SET BACK PARKING AREA CALCULATION
AFTER 3.60 MT WIDE BUILDING LINE

SITE WITH SET BACK
PARKING AREA CALCULATION

SETBACK PARKING AREA CALCULATION								
S NO	SIDE 1A	SIDE1B	SIDE 2A	SIDE 2B	AVG. SIDE 1	AVG SIDE 2	AREA	UNIT
S					4.37	8.50	18.57	m^2
S1	13.20	8.95	8.50	8.50	11.08	8.50	94.14	m^2
S2					11.44	9.45	54.05	m^2
S3	11.44	12.83	8.50	6.65	12.14	7.58	91.92	m^2
S4					8.07	12.19	98.37	m^2
S5					8.08	9.63	77.81	m^2
S6					8.02	15.46	123.99	m^2
S7					8.00	31.06	248.48	m^2
S8					8.00	59.34	474.72	m^2
S9	4.76	3.10	8.00	11.95	3.93	9.98	39.20	m^2
S10	4.68	4.83	5.07	3.13	4.76	4.10	19.50	m^2
S11					8.00	4.68	18.72	m^2
S12	7.10	3.92	8.00	8.00	5.51	8.00	44.08	m^2
S13	13.37	15.96	8.01	8.00	14.67	8.01	117.39	m^2
S14					8.00	20.67	165.36	m^2
S15	5.94	8.00	2.21	4.62	6.97	3.42	23.80	m^2
S16					8.00	3.25	13.00	m^2
S17					8.02	43.94	352.40	m^2
S18					8.00	3.21	12.84	m^2
S19	8.62	8.00	15.36	18.56	8.31	16.96	140.94	m^2
S20	8.00	7.30	8.00	8.00	7.65	8.00	61.20	m^2
S21					8.00	3.50	14.00	m^2
S22	8.73	8.09	11.36	13.67	8.41	12.52	105.25	m^2
S23	8.31	6.54	8.09	8.00	7.43	8.05	59.73	m^2
S24					8.00	7.00	28.00	m^2
S25	8.42	8.04	10.50	12.13	8.23	11.32	93.12	m^2
S26					8.04	15.87	127.59	m^2
S27	9.38	8.04	26.91	22.13	8.71	24.52	213.57	m^2
S28	6.44	6.92	9.05	8.56	6.68	8.81	58.82	m^2
S29	14.42	18.15	8.56	9.36	16.29	8.96	145.91	m^2
					TOTAL SETBACK AREA		3117.92	m^2
THERFORE 50% OF TOTAL SETBACK AREA = 3117.92/2							1558.96	m^2

FOR OFFICE USE ONLY:

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

AREA STATEMENT OF BUILDING :-

CERTIFIED THAT:-

1. THE BUILDING PLANS SUBMITTED FOR APPROVAL SATISFY THE SAFETY REQUIREMENT AS STIPULATED IN ANNEXTURE-II AND THE BEST OF OUR KNOWLEDGE AND UNDER STANDING.
2. THE STRUCTURE DESIGN INCLUDING SAFETY FROM NATURAL HAZARDS BASED ON SOIL CONDITIONS HAS BEEN PREPARED BY DULY QUALIFIED STRUCTURAL ENGG. AT LEAST B.E (CIVIL) OR EQUIVALENT AND THESE PROVISIONS SHALL BE ADHERED TO DURING THE CONSTRUCTION.

GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

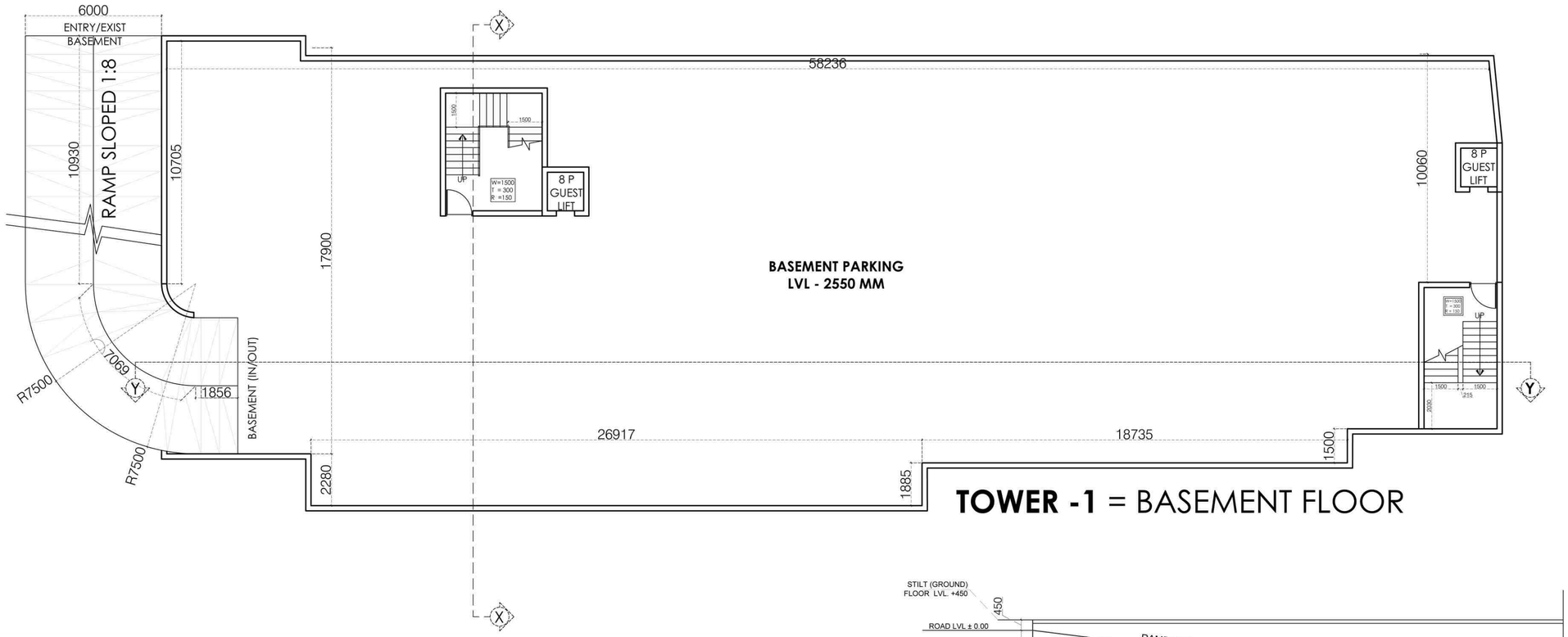
SIGNATURE OF OWNER

SHEET TITLE SITE WITH OPEN PARKING CALCULATION

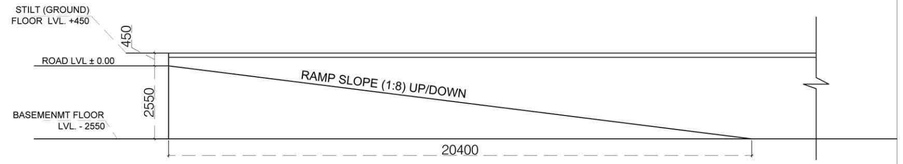
SCALE		JOB NO
1:100		DRG. NO 03

ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

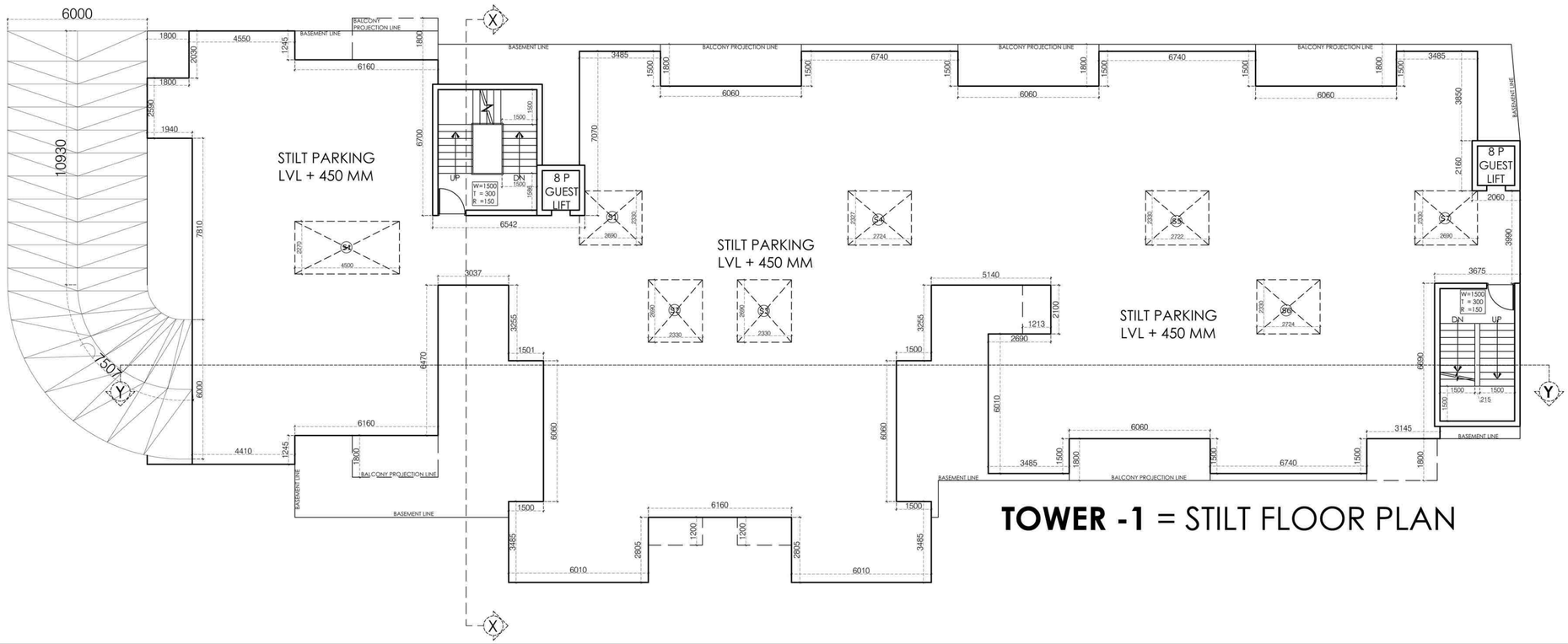
FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765



TOWER -1 = BASEMENT FLOOR



TYPICAL T-1 & T-2 = BASEMENT FLOOR RAMP DETAIL



TOWER -1 = STILT FLOOR PLAN

FOR OFFICE USE ONLY:

HARICHAND SINGH RANA
The Map (R-0239/16-17) is approved by Mr. R. Meenakshi Sundaram, IAS (Vice Chairman) MDDA and recommended for approval by Mr. Prakash Chandra Dumka(PCS) (Secretary) MDDA, Mr. Anil Kumar Tyagi (Superintendent Engr.) and Mr. P.N. Bahuguna (Junior Engr.) MDDA and is digitally signed by Mr. Harichand Singh Rana Dated: 06/01/2021 12:44 PM

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

CERTIFIED THAT:-

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GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: TOWER -1 BASEMENT & STILT FLOOR PLANS

SCALE: NTS

JOB NO

DRG. NO: 04

GAURAV SINGH ARCHITECTS
ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
FIRST FLOOR, PLOT NO. CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765

TOWER 1 = FIRST FLOOR WITH COMMUNITY CENTER PLAN

TOWER 1 = TYPICAL FLOOR PLAN (2ND TO 8TH)

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HARICHAND SINGH RANA
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SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

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GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: TOWER -1 FIRST & TYPICAL FLOOR PLANS

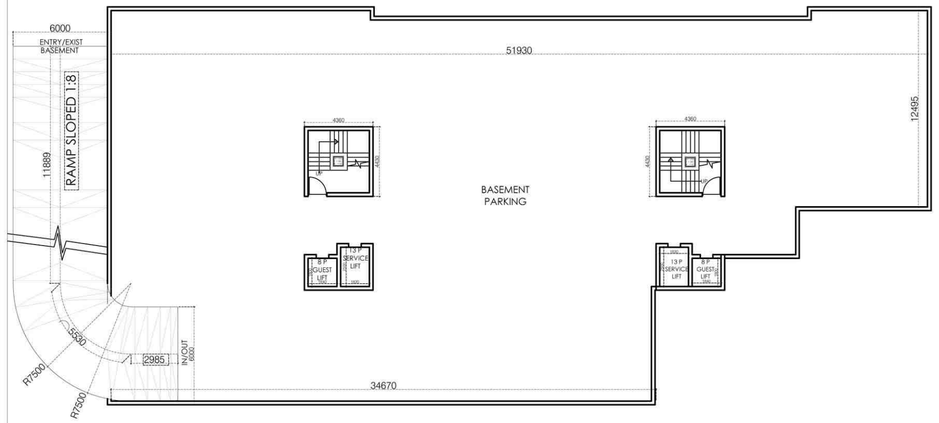
SCALE: NTS

JOB NO

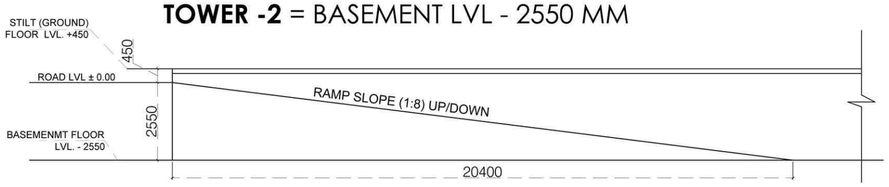
DRG. NO: 05

GAURAV SINGH ARCHITECTS
ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING

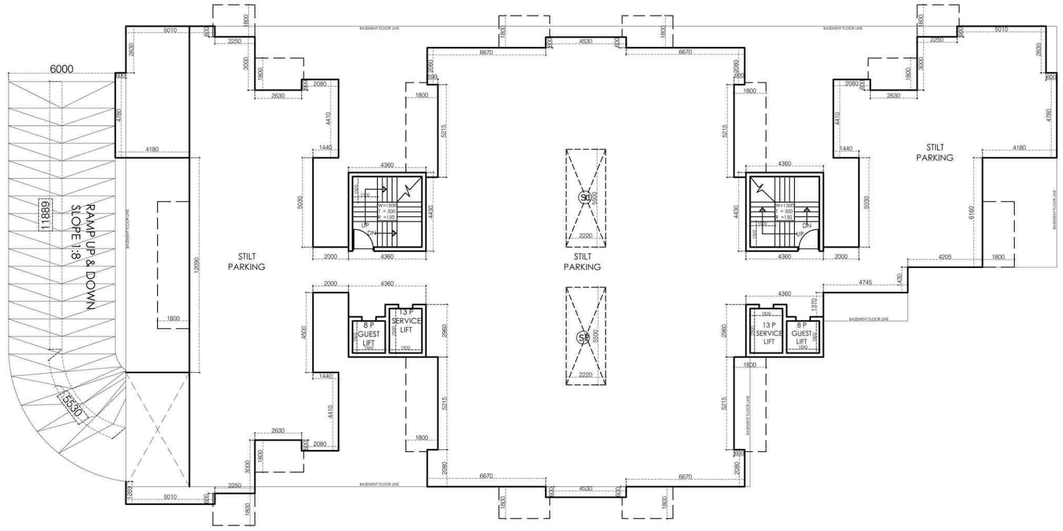
FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765



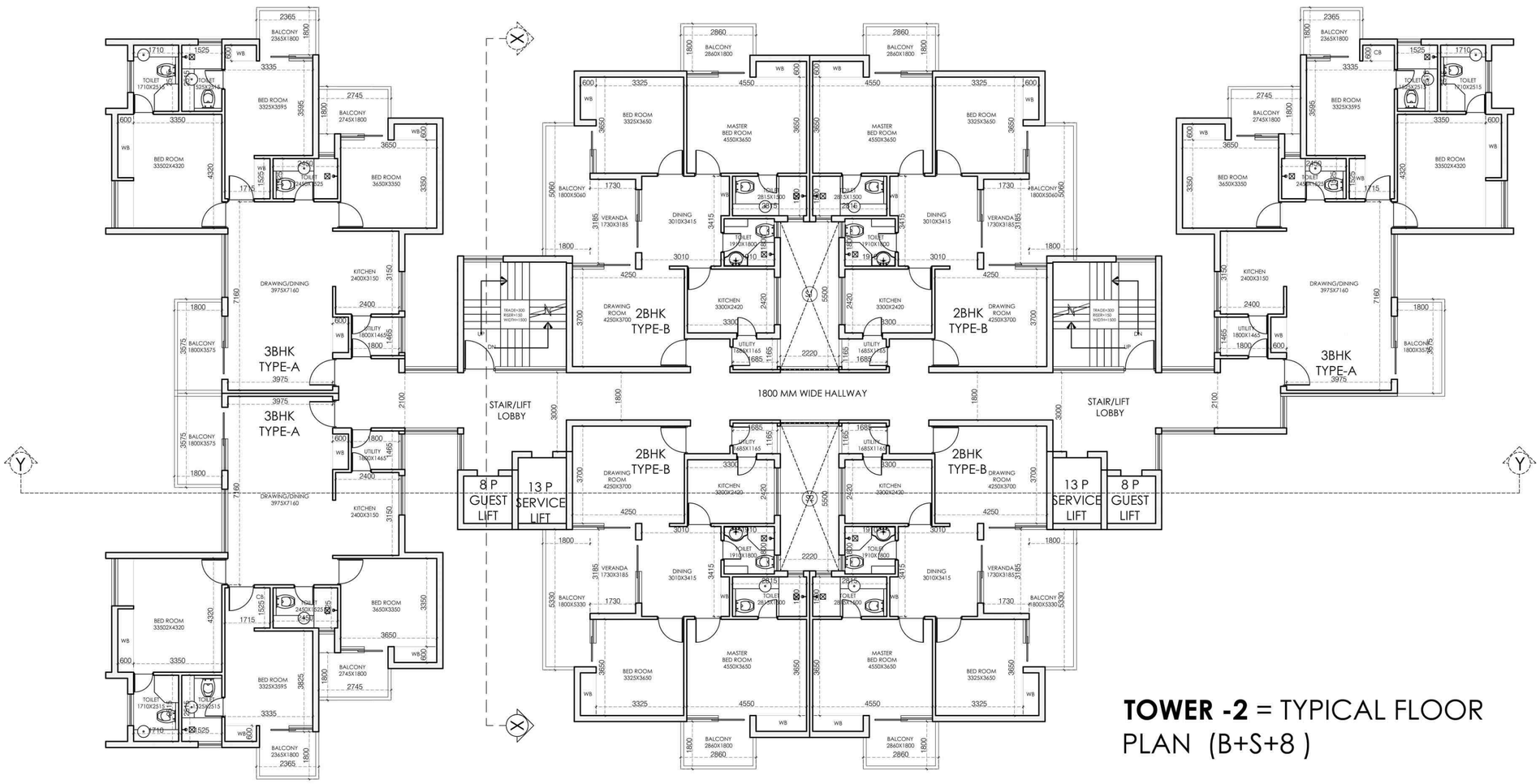
TOWER -2 = BASEMENT LVL - 2550 MM



TYPICAL T-1 & T-2 = BASEMENT FLOOR RAMP DETAIL



TOWER -2 = STILT FLOOR PLAN LVL + 450 MM



TOWER -2 = TYPICAL FLOOR PLAN (B+S+8)

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SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

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GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: TOWER-2 ALL FLOOR PLANS

SCALE: NTS

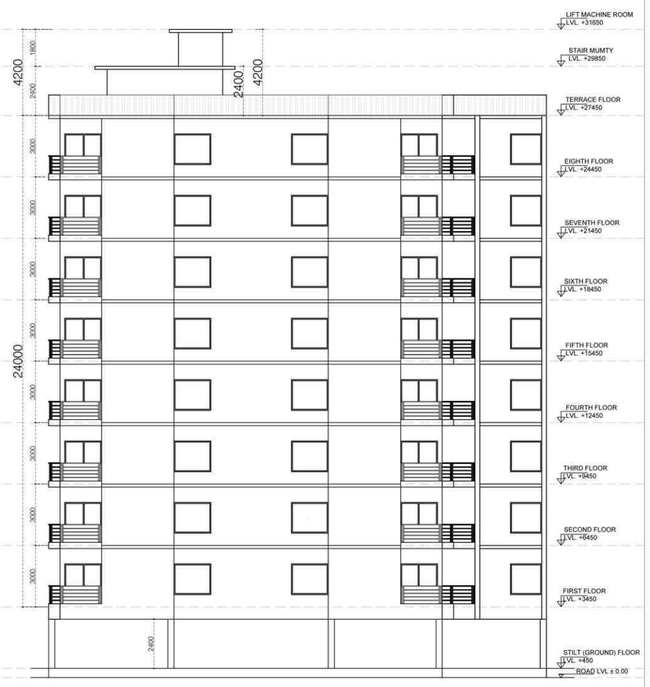
JOB NO

DRG. NO: 06

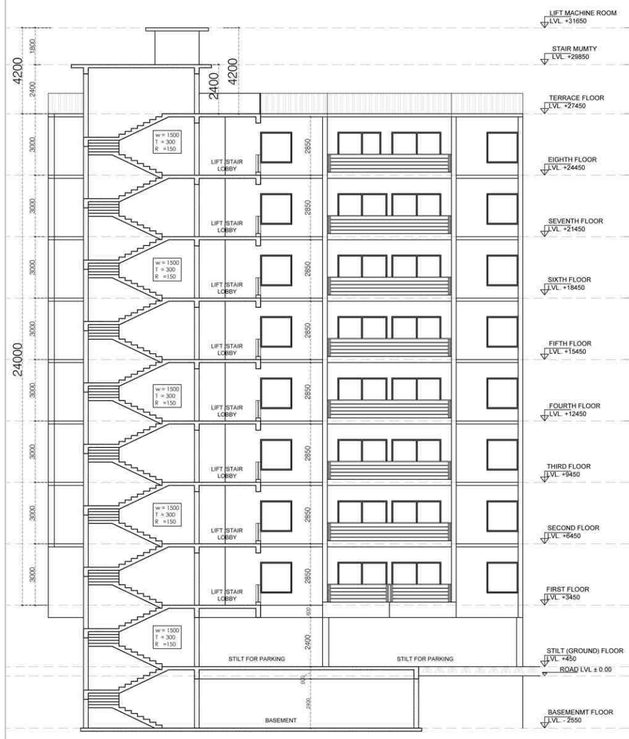
ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765

TOWER -1 = FRONT ELEVATION



TOWER -1 = SIDE ELEVATION



TOWER -1 = SECTION AT X-X

TOWER -1 = SECTION AT Y-Y

FOR OFFICE USE ONLY:

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

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GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: ELEVATIONS AND SECTIONS (TOWER-1)

SCALE: NTS

JOB NO

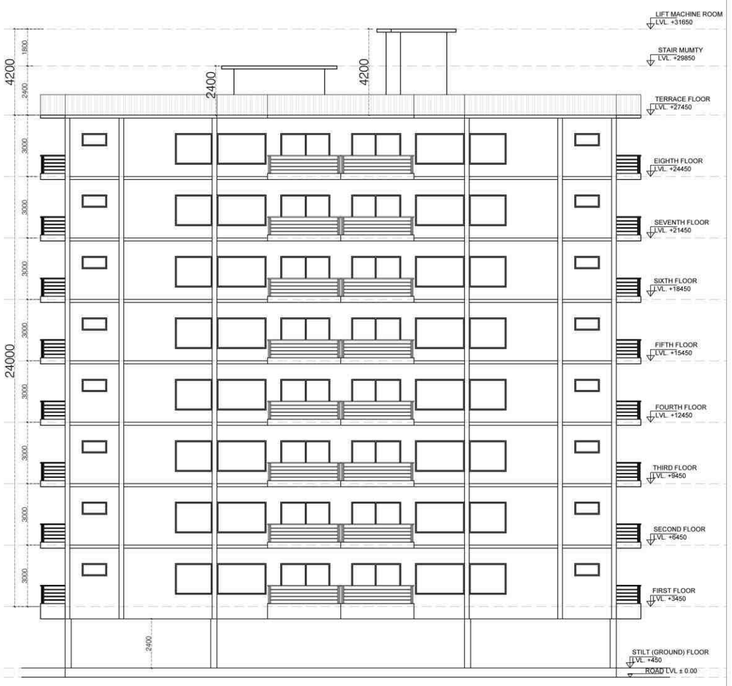
DRG. NO: 07

ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING

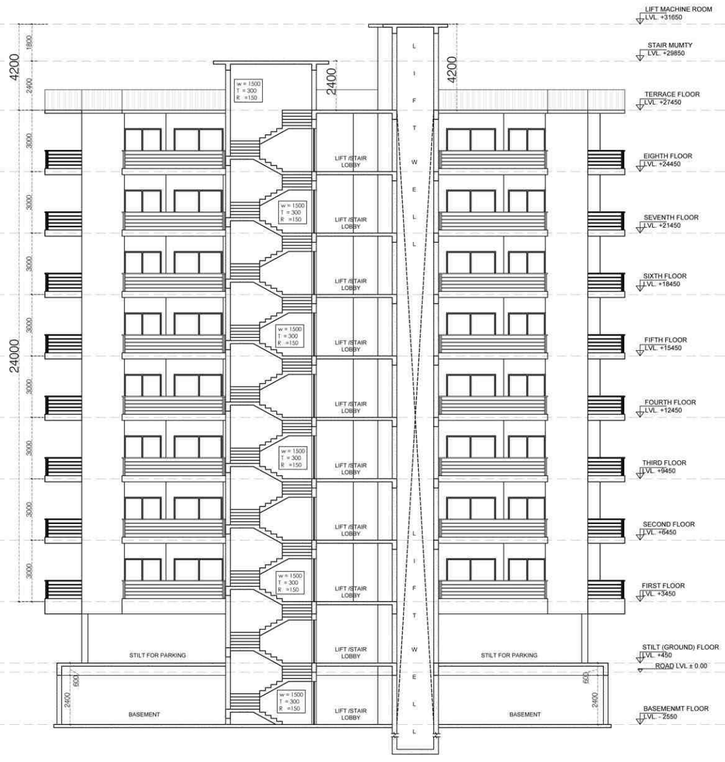
GAURAV SINGH ARCHITECTS

FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765

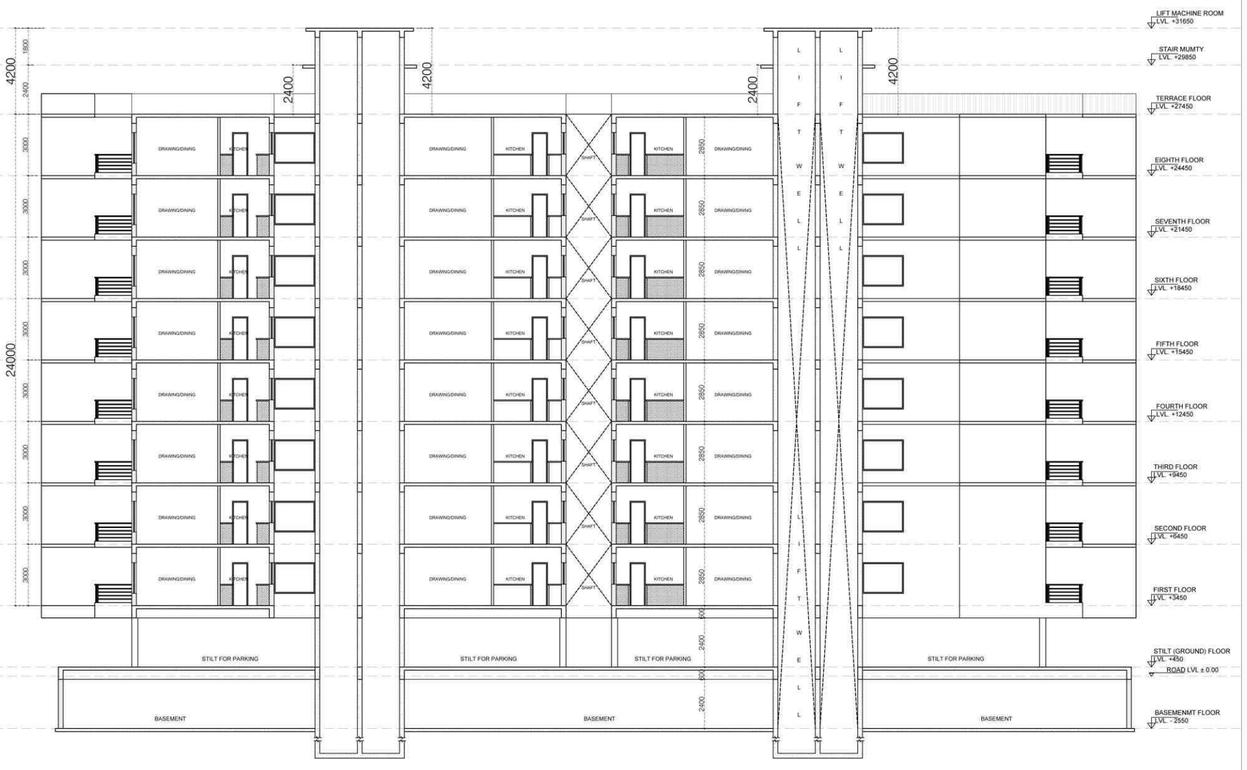
TOWER - 2 = FRONT ELEVATION



TOWER - 2 = SIDE ELEVATION



TOWER - 2 = SECTION AT X-X



TOWER -2 = SECTION AT Y-Y

FOR OFFICE USE ONLY:

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

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SIGNATURE OF ARCHITECT

GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: ELEVATIONS AND SECTIONS (TOWER-2)

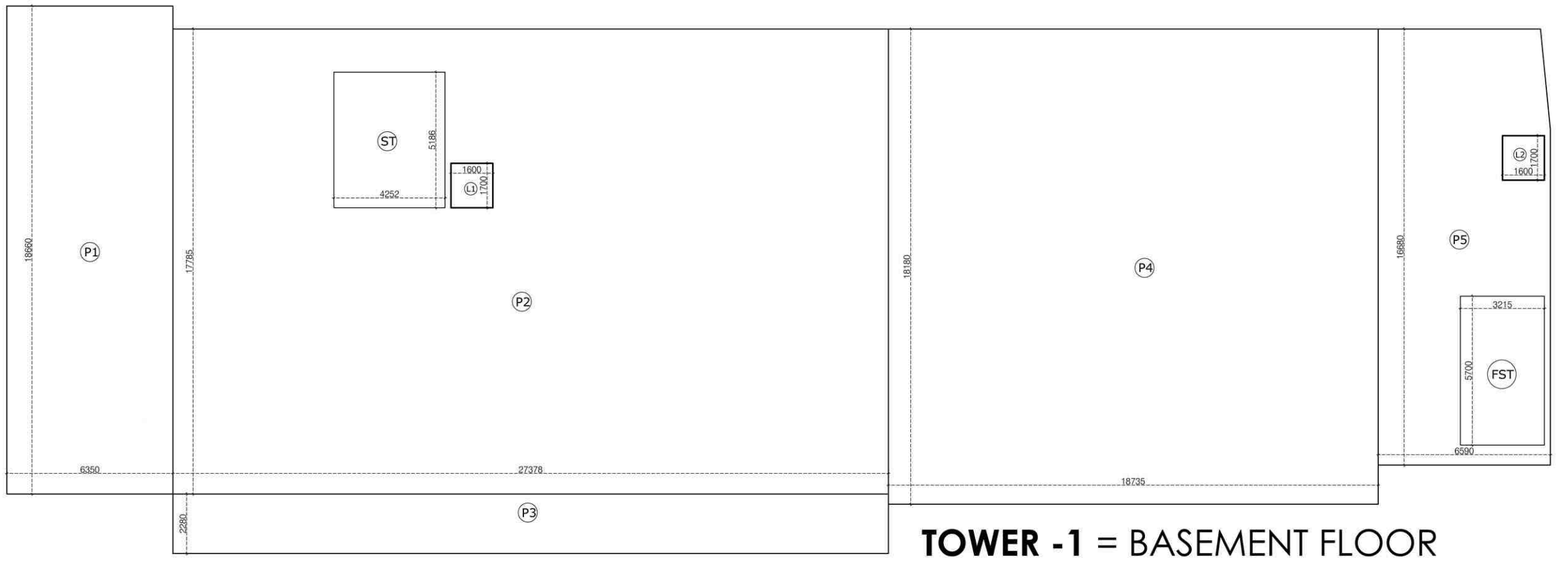
SCALE: NTS

JOB NO

DRG. NO: 08

ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765

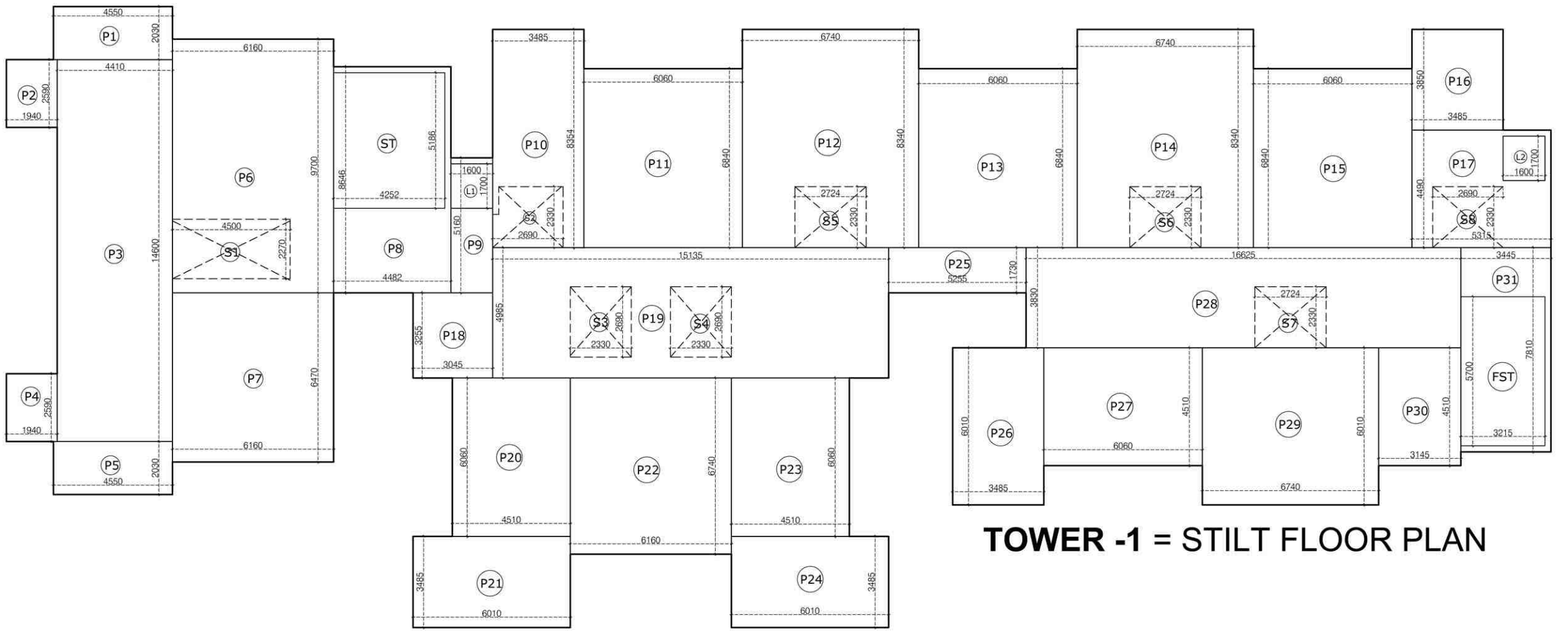


TOWER -1 = BASEMENT FLOOR

TOWER-1
BASEMENT FLOOR AREA DETAIL FOR DC

S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	6.35	18.66	118.49	m^2
P2	27.37	17.78	486.64	m^2
P3	27.37	2.28	62.40	m^2
P4	18.73	18.18	340.51	m^2
P5	6.59	16.68	109.92	m^2
NET BASEMENT FLOOR AREA			1117.97	m^2

DEDUCTION				
ST	4.25	5.18	22.02	m^2
FST	3.21	5.70	18.30	m^2
L1	1.60	1.70	2.72	m^2
L2	1.60	1.70	2.72	m^2
NET DEDUCTION			45.75	m^2
TOTAL BASEMENT AREA FOR DC			1072.21	m^2



TOWER -1 = STILT FLOOR PLAN

TOWER-1
STILT FLOOR AREA DETAIL FOR DC

S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	4.55	2.03	9.24	m^2
P2	1.94	2.59	5.02	m^2
P3	4.41	14.60	64.39	m^2
P4	1.94	2.59	5.02	m^2
P5	4.55	2.03	9.24	m^2
P6	6.16	9.70	59.75	m^2
P7	6.16	6.47	39.86	m^2
P8	4.48	8.65	38.75	m^2
P9	1.60	5.16	8.26	m^2
P10	3.49	8.35	29.11	m^2
P11	6.06	6.84	41.45	m^2
P12	6.74	8.34	56.21	m^2
P13	6.06	6.84	41.45	m^2
P14	6.74	8.34	56.21	m^2
P15	6.06	6.84	41.45	m^2
P16	3.49	3.85	13.42	m^2
P17	5.32	4.49	23.86	m^2
P18	3.05	3.26	9.91	m^2
P19	15.14	4.99	75.45	m^2
P20	4.51	6.06	27.33	m^2
P21	6.01	3.49	20.94	m^2
P22	6.16	6.74	41.52	m^2
P23	4.51	6.06	27.33	m^2
P24	6.01	3.49	20.94	m^2
P25	5.26	1.73	9.09	m^2
P26	3.49	6.01	20.94	m^2
P27	6.06	4.51	27.33	m^2
P28	16.63	3.83	63.67	m^2
P29	6.74	6.01	40.51	m^2
P30	3.15	4.51	14.18	m^2
P31	3.45	7.81	26.91	m^2
NET STILT FLOOR AREA			968.76	m^2

FOR OFFICE USE ONLY:

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

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GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE
AREA SHEET-I (TOWER-1) - BASEMENT & STILT FLOOR

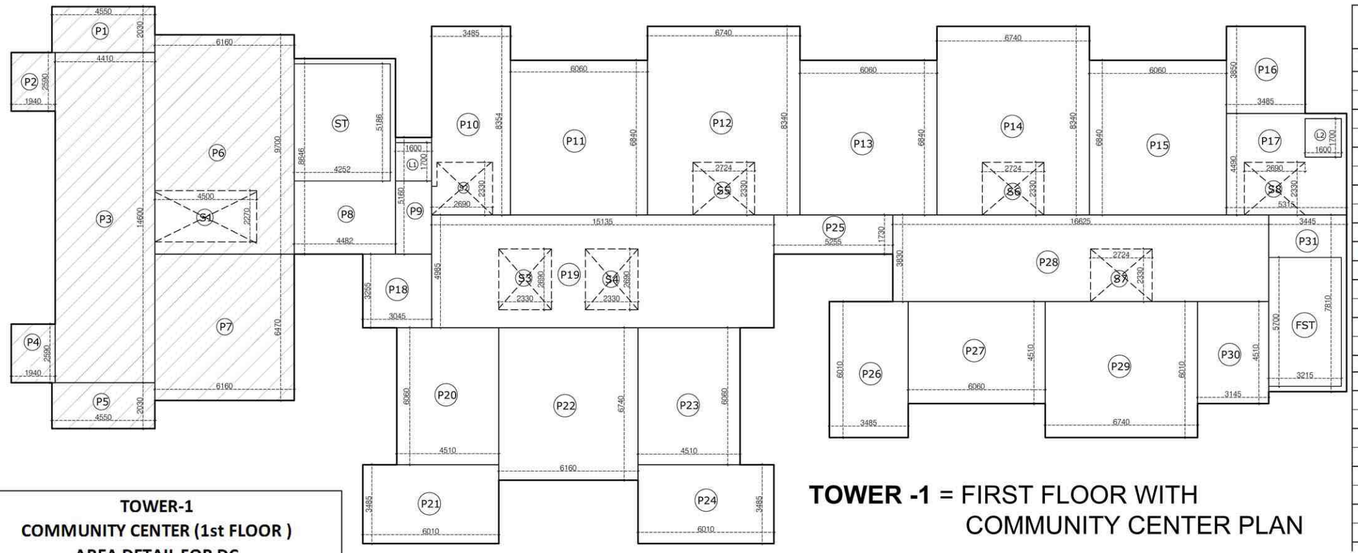
SCALE
NTS

JOB NO

DRG. NO
09

ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD,
DEHRADUN, PIN-248006, TELE- 0135 2766765



TOWER -1 = FIRST FLOOR WITH COMMUNITY CENTER PLAN

TOWER-1
COMMUNITY CENTER (1st FLOOR)
AREA DETAIL FOR DC

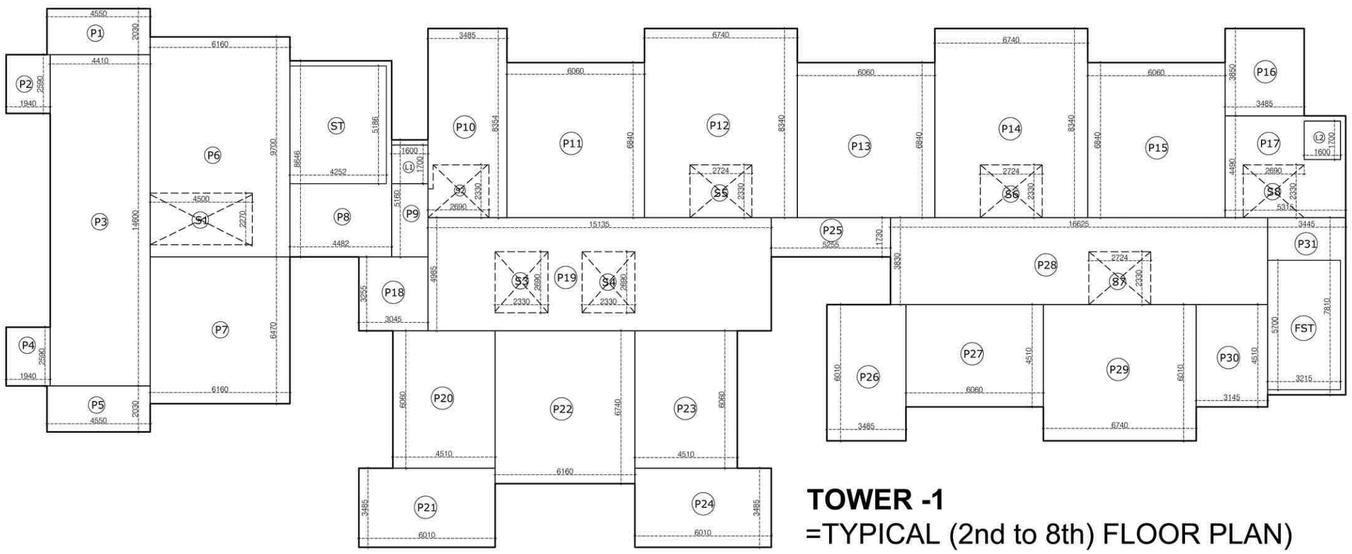
S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	4.55	2.03	9.24	m^2
P2	1.94	2.59	5.02	m^2
P3	4.41	14.60	64.39	m^2
P4	1.94	2.59	5.02	m^2
P5	4.55	2.03	9.24	m^2
P6	6.16	9.70	59.75	m^2
P7	6.16	6.47	39.86	m^2
NET FLOOR AREA			192.52	m^2

DEDUCTION				
S1	4.50	2.27	10.22	m^2
NET DEDUCTION			10.22	m^2
TOTAL TYPICAL (1ST TO 8TH) AREA FLOOR FOR DC			182.30	m^2

TOWER-1
FIRST FLOOR AREA DETAIL FOR DC

S NO	SIDE 1A	SIDE1B	AREA	UNIT
P8	4.48	8.65	38.75	m^2
P9	1.60	5.16	8.26	m^2
P10	3.49	8.35	29.11	m^2
P11	6.06	6.84	41.45	m^2
P12	6.74	8.34	56.21	m^2
P13	6.06	6.84	41.45	m^2
P14	6.74	8.34	56.21	m^2
P15	6.06	6.84	41.45	m^2
P16	3.49	3.85	13.42	m^2
P17	5.32	4.49	23.86	m^2
P18	3.05	3.26	9.91	m^2
P19	15.14	4.99	75.45	m^2
P20	4.51	6.06	27.33	m^2
P21	6.01	3.49	20.94	m^2
P22	6.16	6.74	41.52	m^2
P23	4.51	6.06	27.33	m^2
P24	6.01	3.49	20.94	m^2
P25	5.26	1.73	9.09	m^2
P26	3.49	6.01	20.94	m^2
P27	6.06	4.51	27.33	m^2
P28	16.63	3.83	63.67	m^2
P29	6.74	6.01	40.51	m^2
P30	3.15	4.51	14.18	m^2
P31	3.45	7.81	26.91	m^2
NET TYPICAL FLOOR AREA			776.24	m^2

DEDUCTION				
L1	1.60	1.70	2.72	m^2
L2	1.60	1.70	2.72	m^2
ST	4.25	5.19	22.05	m^2
FST	3.22	5.70	18.33	m^2
S2	2.69	2.33	6.27	m^2
S3	2.33	2.69	6.27	m^2
S4	2.33	2.69	6.27	m^2
S5	2.72	2.33	6.35	m^2
S6	2.72	2.33	6.35	m^2
S7	2.72	2.33	6.35	m^2
S8	2.69	2.33	6.27	m^2
NET DEDUCTION			89.93	m^2
TOTAL 1ST FLOOR AREA FOR DC			686.32	m^2



TOWER -1
=TYPICAL (2nd to 8th) FLOOR PLAN)

TOWER-1 TYPICAL 2nd TO 8th
FLOOR AREA DETAIL FOR DC

S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	4.55	2.03	9.24	m^2
P2	1.94	2.59	5.02	m^2
P3	4.41	14.60	64.39	m^2
P4	1.94	2.59	5.02	m^2
P5	4.55	2.03	9.24	m^2
P6	6.16	9.70	59.75	m^2
P7	6.16	6.47	39.86	m^2
P8	4.48	8.65	38.75	m^2
P9	1.60	5.16	8.26	m^2
P10	3.49	8.35	29.11	m^2
P11	6.06	6.84	41.45	m^2
P12	6.74	8.34	56.21	m^2
P13	6.06	6.84	41.45	m^2
P14	6.74	8.34	56.21	m^2
P15	6.06	6.84	41.45	m^2
P16	3.49	3.85	13.42	m^2
P17	5.32	4.49	23.86	m^2
P18	3.05	3.26	9.91	m^2
P19	15.14	4.99	75.45	m^2
P20	4.51	6.06	27.33	m^2
P21	6.01	3.49	20.94	m^2
P22	6.16	6.74	41.52	m^2
P23	4.51	6.06	27.33	m^2
P24	6.01	3.49	20.94	m^2
P25	5.26	1.73	9.09	m^2
P26	3.49	6.01	20.94	m^2
P27	6.06	4.51	27.33	m^2
P28	16.63	3.83	63.67	m^2
P29	6.74	6.01	40.51	m^2
P30	3.15	4.51	14.18	m^2
P31	3.45	7.81	26.91	m^2
NET TYPICAL FLOOR AREA			968.76	m^2

DEDUCTION				
L1	1.60	1.70	2.72	m^2
L2	1.60	1.70	2.72	m^2
ST	4.25	5.19	22.05	m^2
FST	3.22	5.70	18.33	m^2
S1	4.50	2.27	10.22	m^2
S2	2.69	2.33	6.27	m^2
S3	2.33	2.69	6.27	m^2
S4	2.33	2.69	6.27	m^2
S5	2.72	2.33	6.35	m^2
S6	2.72	2.33	6.35	m^2
S7	2.72	2.33	6.35	m^2
S8	2.69	2.33	6.27	m^2
NET DEDUCTION			100.14	m^2
TOTAL TYPICAL (2ND TO 8TH) AREA FLOOR FOR DC			868.62	m^2

FOR OFFICE USE ONLY:

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

CERTIFIED THAT:-

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2. THE STRUCTURE DESIGN INCLUDING SAFETY FROM NATURAL HAZARDS BASED ON SOIL CONDITIONS HAS BEEN PREPARED BY DULY QUALIFIED STRUCTURAL ENGG. AT LEAST B.E (CIVIL) OR EQUIVALENT AND THESE PROVISIONS SHALL BE ADHERED TO DURING THE CONSTRUCTION.

SIGNATURE OF ARCHITECT

GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE AREA SHEET-II (TOWER-1) - IST & TYPICAL FLOOR

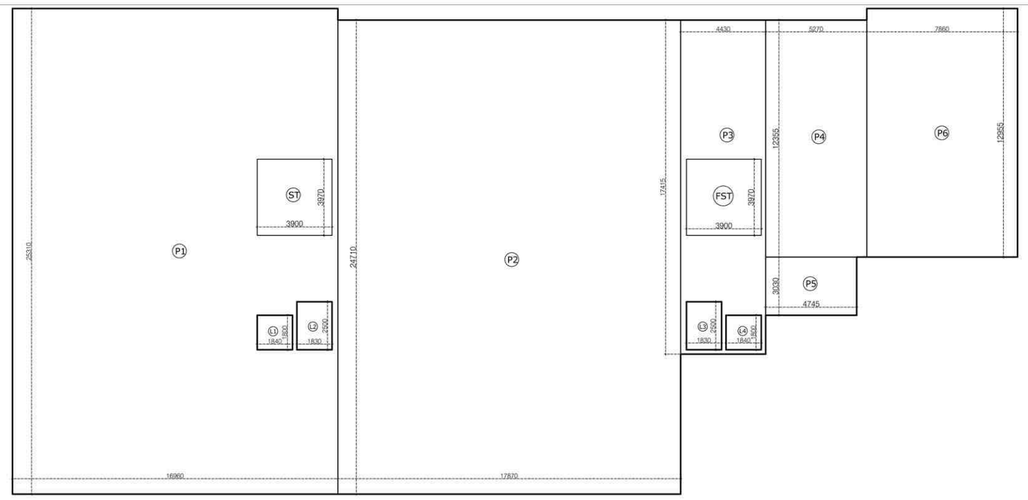
SCALE NTS

JOB NO

DRG. NO 10

ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

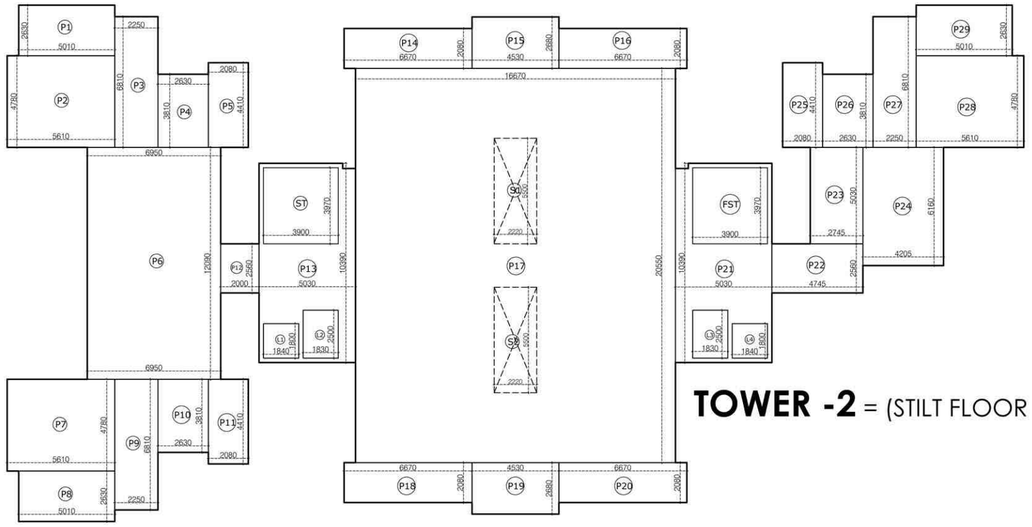
FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765



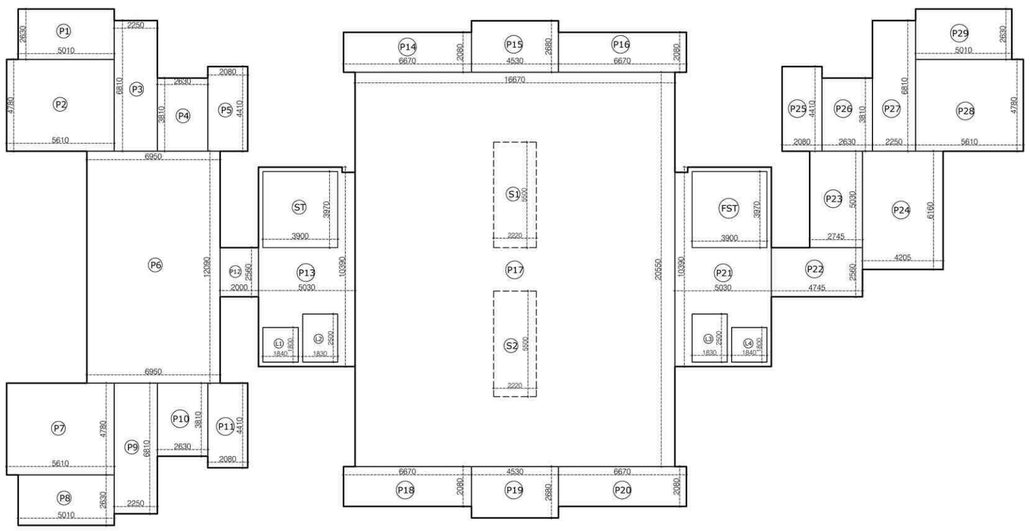
TOWER-2 BASEMENT FLOOR AREA DETAIL FOR DC				
S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	16.96	25.31	429.26	m^2
P2	17.87	24.71	441.57	m^2
P3	4.43	17.41	77.13	m^2
P4	5.27	12.35	32.54	m^2
P5	4.74	3.03	7.18	m^2
P6	7.86	12.95	50.89	m^2
NET BASEMENT FLOOR AREA			1038.57	m^2
DEDUCTION				
ST	3.90	3.97	15.48	m^2
FST	3.90	3.97	15.48	m^2
L1	1.84	1.80	3.31	m^2
L2	1.83	2.50	4.58	m^2
L3	1.83	2.50	4.58	m^2
L4	1.84	1.80	3.31	m^2
NET DEDUCTION			46.74	m^2
TOTAL BASEMENT AREA FOR DC			991.83	m^2

TOWER -2 = BASEMENT LVL - 2550 MM

TOWER-2 STILT FLOOR AREA DETAIL FOR DC				
S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	5.01	2.63	13.18	m^2
P2	5.61	4.78	26.82	m^2
P3	2.25	6.81	15.32	m^2
P4	2.63	3.81	10.02	m^2
P5	2.08	4.41	9.17	m^2
P6	6.95	12.09	84.03	m^2
P7	5.61	4.78	26.82	m^2
P8	5.01	2.63	13.18	m^2
P9	2.25	6.81	15.32	m^2
P10	2.63	3.81	10.02	m^2
P11	2.08	4.41	9.17	m^2
P12	2.00	2.56	5.12	m^2
P13	5.03	10.39	52.26	m^2
P14	6.67	2.08	13.87	m^2
P15	4.53	2.68	12.14	m^2
P16	6.67	2.08	13.87	m^2
P17	16.67	20.55	342.57	m^2
P18	6.67	2.08	13.87	m^2
P19	4.53	2.68	12.14	m^2
P20	6.67	2.08	13.87	m^2
P21	5.03	10.39	52.26	m^2
P22	4.74	2.56	12.13	m^2
P23	2.74	5.03	13.78	m^2
P24	4.20	6.16	25.87	m^2
P25	2.08	4.41	9.17	m^2
P26	2.63	3.81	10.02	m^2
P27	2.25	6.81	15.32	m^2
P28	5.61	4.78	26.82	m^2
P29	5.61	4.78	26.82	m^2
NET STILT FLOOR AREA			904.96	m^2



TOWER -2 = (STILT FLOOR PLAN)



TOWER -2 = (TYPICAL 1st TO 8th FLOOR PLAN)

TOWER-2 TYPICAL 1st TO 8th FLOOR AREA DETAIL FOR DC				
S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	5.01	2.63	13.18	m^2
P2	5.61	4.78	26.82	m^2
P3	2.25	6.81	15.32	m^2
P4	2.63	3.81	10.02	m^2
P5	2.08	4.41	9.17	m^2
P6	6.95	12.09	84.03	m^2
P7	5.61	4.78	26.82	m^2
P8	5.01	2.63	13.18	m^2
P9	2.25	6.81	15.32	m^2
P10	2.63	3.81	10.02	m^2
P11	2.08	4.41	9.17	m^2
P12	2.00	2.56	5.12	m^2
P13	5.03	10.39	52.26	m^2
P14	6.67	2.08	13.87	m^2
P15	4.53	2.68	12.14	m^2
P16	6.67	2.08	13.87	m^2
P17	16.67	20.55	342.57	m^2
P18	6.67	2.08	13.87	m^2
P19	4.53	2.68	12.14	m^2
P20	6.67	2.08	13.87	m^2

P21	5.03	10.39	52.26	m^2
P22	4.74	2.56	12.13	m^2
P23	2.74	5.03	13.78	m^2
P24	4.20	6.16	25.87	m^2
P25	2.08	4.41	9.17	m^2
P26	2.63	3.81	10.02	m^2
P27	2.25	6.81	15.32	m^2
P28	5.61	4.78	26.82	m^2
P29	5.61	4.78	26.82	m^2
NET TYPICAL FLOOR AREA			904.96	m^2
DEDUCTION				
L1	1.84	1.80	3.31	m^2
L2	1.83	2.50	4.58	m^2
L3	1.83	2.50	4.58	m^2
L4	1.84	1.80	3.31	m^2
ST	3.90	3.97	15.48	m^2
FST	3.90	3.97	15.48	m^2
S1	2.22	5.50	12.21	m^2
S2	2.22	5.50	12.21	m^2
NET DEDUCTION			71.16	m^2
TOTAL TYPICAL (1st TO 8th) FLOOR AREA FOR DC			833.80	m^2

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SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA NO - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

CERTIFIED THAT:-

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GAURAV SINGH
Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: AREA SHEET (TOWER-2)

SCALE: NTS

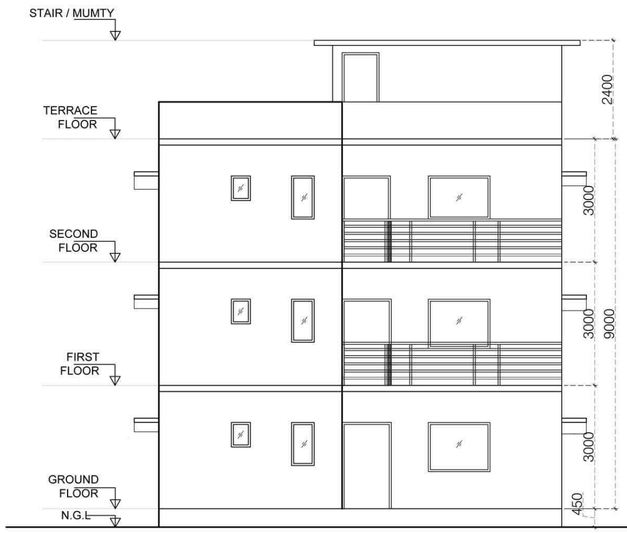
JOB NO

DRG. NO: 11

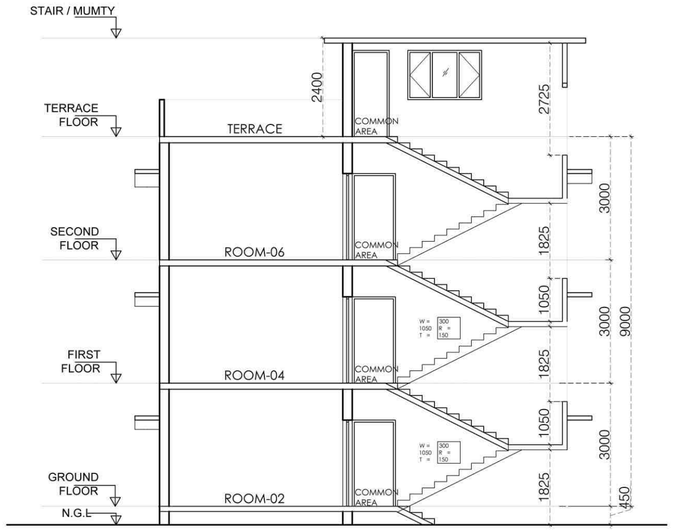
ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765

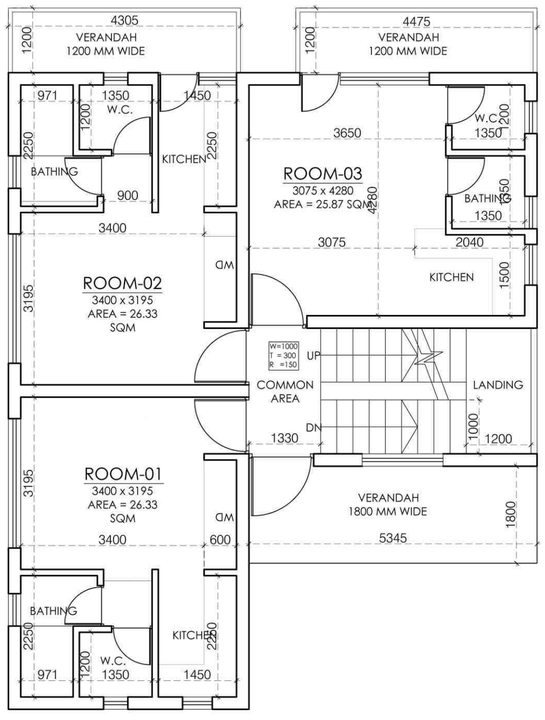
EWS BLOCK FOR "MULTIPLE RESIDENCE UNIT " PALMCITY IN DEHRAKHAS, DEHRADUN



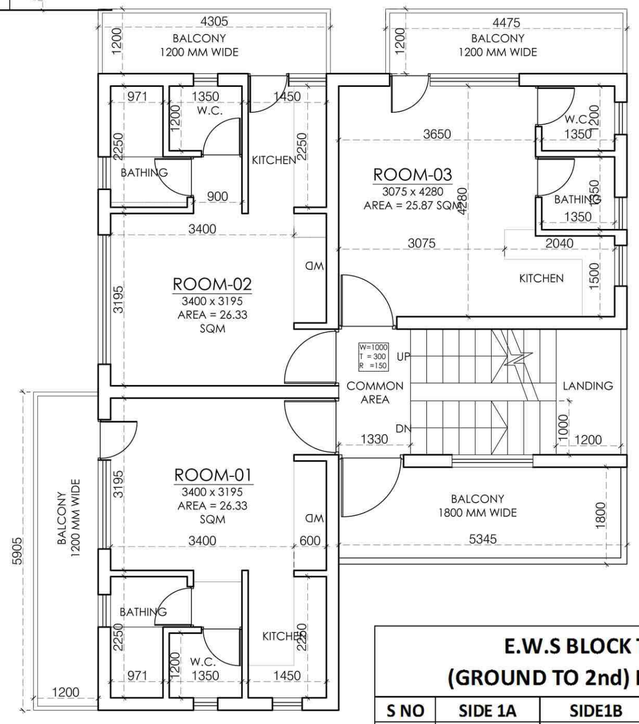
FRONT ELEVATION



SECTION AT A-A

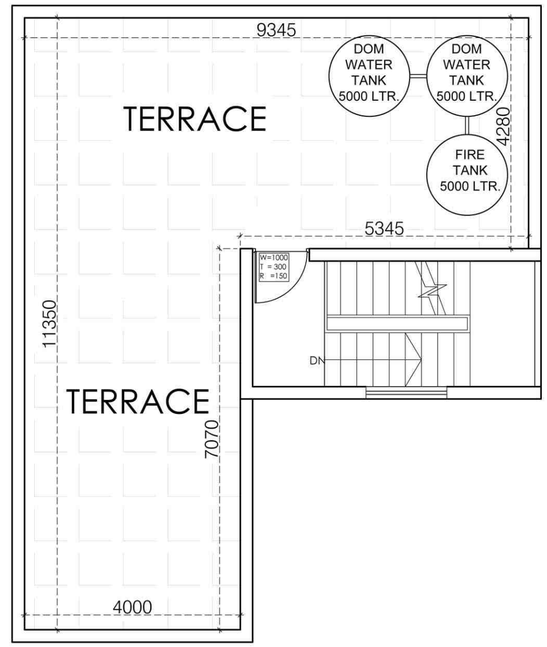


GROUND FLOOR PLAN

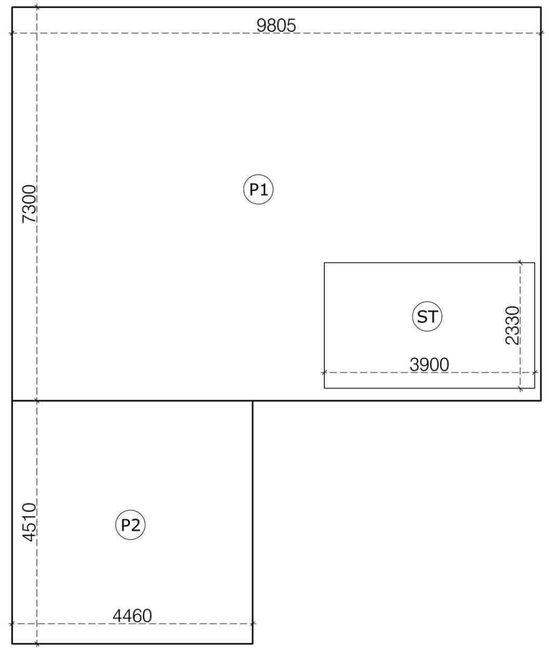


TYPICAL (1st TO 2nd) FLOOR PLAN

E.W.S BLOCK TYPICAL (GROUND TO 2nd) FLOOR PLANS				
S NO	SIDE 1A	SIDE1B	AREA	UNIT
P1	9.80	7.30	71.54	m^2
P2	4.46	4.51	20.11	m^2
		NET E.W.S FLOOR AREA	91.65	m^2
DEDUCTION				
ST	3.90	2.33	9.09	m^2
		NET DEDUCTION	9.09	m^2
		TOTAL E.W.S TYPICAL (GROUND TO 2nd) FLOOR AREA FOR DC	82.57	m^2



TERRACE FLOOR PLAN



TYPICAL (GROUND TO 2Nd) FLOOR PLAN

FOR OFFICE USE ONLY:

HARICHAND SINGH RANA
The Map (R-0239/16-17) is approved by Mr. R. Meenakshi Sundaram, IAS (Vice Chairman) MDDA and recommended for approval by Mr. Prakash Chandra Dumka(PCS) (Secretary) MDDA, Mr. Anil Kumar Tyagi (Superintendent Engr.) and Mr. P.N. Bahuguna (Junior Engr.) MDDA and is digitally signed by Mr. Harichand Singh Rana Dated: 06/01/2021 12:44 PM

SEAL / STAMP

PROJECT :-

PROPOSED GROUP HOUSING MAP OF 'RIDDHI-SIDDHI' FOR MRS. SEEMA BANSAL W/o MR. SANJAY BANSAL AND MR. SANJAY BANSAL S/o LATE H.P. BANSAL AT PART OF BEARING LAND KHASRA No - 67 ka, 67 Ga, 67 Gha, 84, 85, 86, 87 ka, 88 Kha, 89 Min (AREA = 7310 SQM) MAUJA HARCHAWALA PARGANA PARWADOON DISTT. DEHRADUN (UTTARAKHAND).

PROVIDED EWS BLOCK FOR "MULTIPLE RESIDENCE UNIT " PALMCITY IN DEHRAKHAS , DEHRADUN.
AS/LETTER No:- 976/V-2/105(A) 2013 T.C. - 02/2015RECEIVED FROM SECRETARY GOVT.OF UTTARAKHAND.
MR. D.S.GABRIYAL WITH RESPECT TO MDDA LETTER - 2295/DISPUTE No:- R-0052 /S-1/2012. DATED 30.12.2013.

CERTIFIED THAT:-

1. THE BUILDING PLANS SUBMITTED FOR APPROVAL SATISFY THE SAFETY REQUIREMENT AS STIPULATED IN ANNEXTURE-II AND THE BEST OF OUR KNOWLEDGE AND UNDER STANDING.
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Registered Architect
Reg. No. CA/2007/39549

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGINEER

SIGNATURE OF OWNER

SHEET TITLE: E.W.S BLOCK

SCALE: NTS

JOB NO

DRG. NO: 12

ARCHITECTURE
INTERIORS
LANDSCAPE
PLANNING
GAURAV SINGH ARCHITECTS

FIRST FLOOR, PLOT NO- CP-12 & 13, INDIRA NAGAR MAIN ROAD, DEHRADUN, PIN-248006, TELE- 0135 2766765